

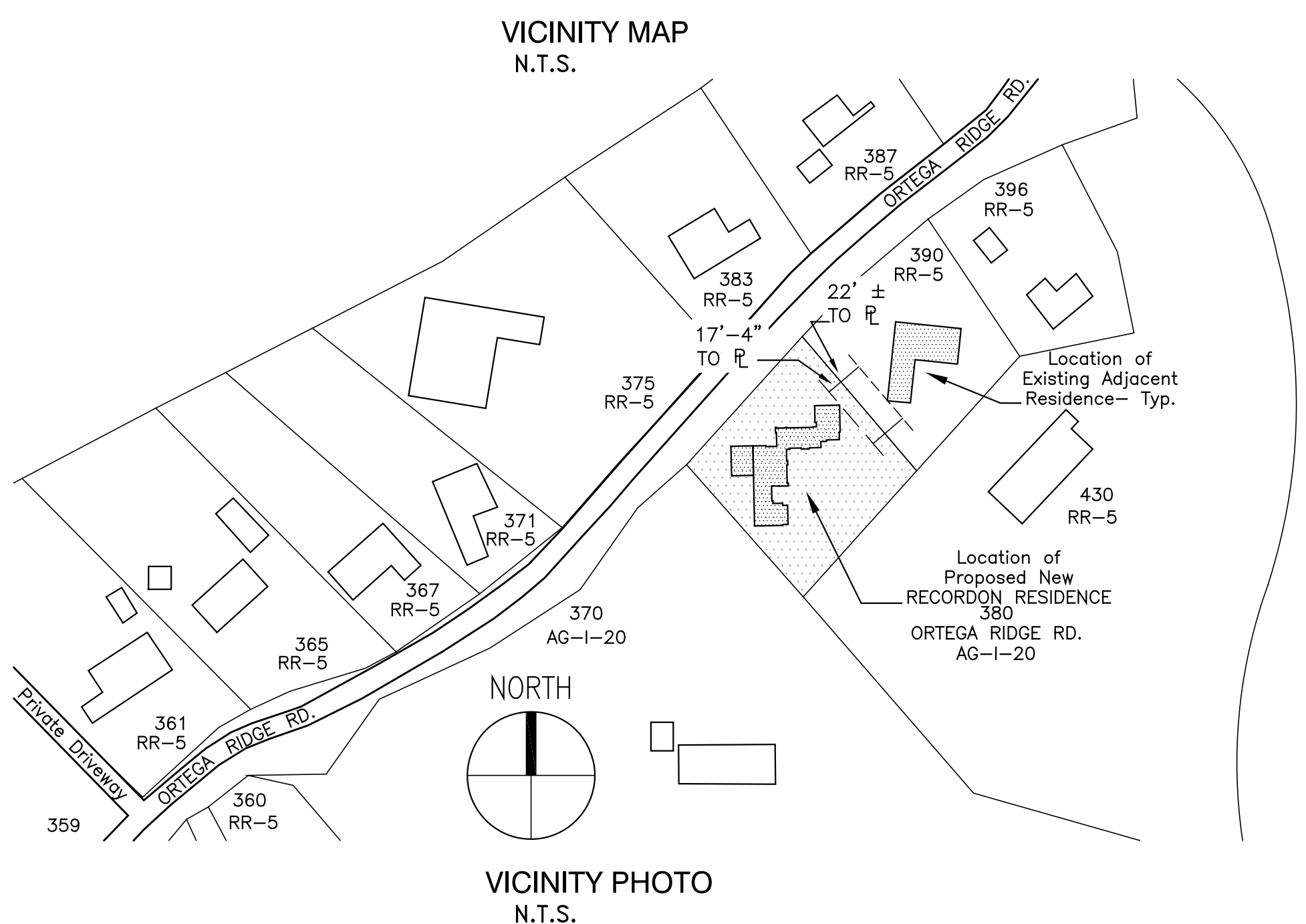
RECORDON RESIDENCE

380 Ortega Ridge Road



Revisions	By
10/03/19 P.C. #1	G.S.
11/25/19 P.C. #2	G.S.
1/14/20 P.C. #3	G.S.

K+A
 DESIGN GROUP
 P.O. Box 5249
 Santa Barbara, CA 93150
 (805) 965-4167



SCOPE OF WORK
 CONSTRUCT NEW SINGLE FLOOR RESIDENCE WITH CARPORT. RESIDENCE TO INCLUDE LIVING ROOM, DINING ROOM, KITCHEN, FAMILY ROOM/OFFICE, FOUR BEDROOMS, FIVE BATHROOMS & TWO 1/2 BATHROOMS, LAUNDRY ROOM & UTILITY/MUD ROOM.
 SITE WORK TO INCLUDE PAVED DRIVEWAYS W/ PAVED GUEST PARKING AREA, PAVED SITE AREAS ENTRY KOI POND, SITE WALLS FOR PLANTERS, GARDENS & LANDSCAPE.
 PROPOSED SWIMMING POOL & "SPA" POOL SHALL BE SUBMITTED FOR A SEPARATE PERMIT AT A FUTURE DATE.

CODE INFORMATION
 ZONE AG-1-20
 OCCUPANCY GROUP R-3/U
 DESCRIPTION OF USE RESIDENCE
 TYPE OF CONSTRUCTION V-B
 SPRINKLERS REQUIRED YES
 STORIES 1
 HEIGHT (MAX) 16 FT.

BUILDING AREAS
 A.P.N. 005-080-011
 GROSS LOT SIZE 1.1 AC. (47,196 S.F.)
 EASEMENT (-5,700 S.F.)
 NET LOT SIZE 42,216 S.F.
 ALLOWED MAXIMUM RESIDENCE 2,500 S.F. + 5%(42,216 S.F.)
 2,500 S.F. + 2,111 S.F.
 ALLOWED MAXIMUM = 4,611 S.F.

CALIFORNIA GREEN BUILDING STANDARDS CODE, CHAPT. 4 PROVISIONS :
 1. THE 2016 CALIFORNIA GREEN BUILDING STANDARDS CODE RESIDENTIAL MANDATORY MEASURES CHECKLIST SHEET 1 & 2 ARE INCLUDED ON A-0.01 & A-0.02.
 2. ALL CONSTRUCTION WASTE MANAGEMENT, DISPOSAL & RECYCLING SHALL BE PROVIDED BY Waborg WASTE MANAGEMENT SERVICE, GOLETA, CA. 805-963-1852.
 3. AT THE TIME OF FINAL INSPECTION, AN OPERATION AND MAINTENANCE MANUAL, COMPACT DISC OR WEB BASED REFERENCE SHALL BE PLACED IN THE BUILDING. OPERATION AND MAINTENANCE MANUAL SHALL INCLUDE ALL ITEMS AS LISTED IN CGBSC SECTION 4.401.1

PLANS ARE IN COMPLIANCE WITH THE CURRENT FOLLOWING CODES:
 2016 CALIFORNIA BUILDING CODE
 2016 CALIFORNIA RESIDENTIAL CODE
 2016 CALIFORNIA ELECTRICAL CODE
 2016 CALIFORNIA MECHANICAL CODE
 2016 CALIFORNIA PLUMBING CODE
 2016 CALIFORNIA GREEN BUILDING STANDARDS CODE
 2016 CALIFORNIA ENERGY CODE, STATE CODES
 SANTA BARBARA COUNTY BUILDING ORDINANCE #4986
 SANTA BARBARA COUNTY GRADING ORDINANCE #4766

PROPOSED RESIDENCE AREA (GROSS) 4,549 S.F.
 PROPOSED CARPORT AREA (GROSS) 740 S.F.
 DRIVEWAY & PARKING 5,182 S.F.
 SITE PAVING & DECK AREA 3,275 S.F.
 LAP POOL 17x74= 1,260 S.F.
 PLANTERS & GARDEN AREAS 4,360 S.F.

DRAWING INDEX
 A-0.0 TITLE SHEET, CODES, STATISTICS
 A-0.01 CALIF. GREEN BLDG. STDS. CODE
 A-0.02 CALIF. GREEN BLDG. STDS. CODE
 A-0.1 CONCEPTUAL EXTERIOR RENDERINGS
 A-0.2 (E) SITE TOPO MAP
 A-0.3 (E) SITE PHOTOS
 A-1.0 SITE PLAN + FLOOR PLAN
 A-1.1 SITE STAGING + ROOF HT. DIAGRAM
 A-2.0 DIMENSION FLOOR PLAN
 A-2.1 NOTED FLOOR PLAN
 A-2.2 UNDER FLOOR DIAGRAM
 A-2.3 REFLECTED CEILING PLAN
 A-2.4 FLOOR FINISH & PAVING PLAN
 A-3.0 ROOF PLAN
 A-4.0 ELEVATIONS
 A-5.0 SECTIONS
 A-6.0 DOOR + WINDOW SCHEDULE
 A-9.0 ARCH. DETAILS
 A-9.1 ARCH. DETAILS
 A-9.2 ARCH. DETAILS
 A-9.3 KOI POND EQUIP. + ARCH. DETS.
 A-9.4 FIREPLACE DETS.
 A-9.5 FIREPLACE DETS.
 A-9.6 KOI ENTRY POND DETS.
 A-9.7 KOI ENTRY POND DETS.
 A-9.8 KOI ENTRY POND DETS.
 A-9.9 KOI ENTRY POND DETS.
 A-9.10 ROOF DETAILS
 R-1.0 RADON SYSTEM FLOOR PLAN
 R-1.1 RADON SYSTEM DETAILS & SPECS.

DRAWING INDEX
 S-1.1 STRUCT. TITLE SHEET
 S-1.2 STRUCT. SPECS. & SPECIAL INSPECTIONS
 S-2.1 FOUNDATION PLAN
 S-2.2 ROOF FRAMING PLAN
 S-3.1 STRUCTURAL DETAILS
 S-3.2 STRUCTURAL DETAILS
 S-3.3 STRUCTURAL DETAILS
 S-3.4 STRUCTURAL DETAILS
 M0.0 TITLE 24 REQUIREMENTS
 M0.1 TITLE 24 REQUIREMENTS
 M1.0 HVAC NOTES, LEGENDS & SCHEDULES
 M1.1 HVAC NOTES, LEGENDS & SCHEDULES
 M2.0 HVAC FLOOR PLAN
 M2.1 HVAC UNDER FLOOR PLAN
 M3.0 HVAC ROOF PLAN
 M4.0 HVAC DETAILS
 E0.0 SYMBOLS & NOTES
 E0.1 FIXTURE & PANEL SCHEDULES & SLD
 E2.0 ELECTRICAL UNDER FLOOR PLAN
 E2.1 POWER FLOOR PLAN
 E2.2 POWER ROOF PLAN
 E3.1 LIGHTING FLOOR PLAN
 P0.0 PLUMBING FRONT SHEET
 P0.1 DETAILS
 P1.0 PLUMB. BASEMENT PLN.-WASTE & VENT
 P2.0 PLUMB. BASEMENT PLN.-HW, CW & GAS
 P3.0 PLUMBING FLOOR PLAN- SEWER & VENT
 P4.0 PLUMBING FLOOR PLAN- HW, CW, & GAS
 L-1 LANDSCAPE LAYOUT PLAN
 L-2.0 IRRIGATION PLAN
 L-2.1 GRADING & DRAINAGE PLAN
 L-3 PLANTING PLAN
 L-3.1 PLANTING & IRRIGATION DETAILS
 L-4 LIGHTING PLAN
 L-5 DETAILS

ABBREVIATIONS:

ARCHITECTURAL SHEETS ONLY	ARCHITECTURAL SHEETS ONLY	ARCHITECTURAL SHEETS ONLY	ARCHITECTURAL SHEETS ONLY	ARCHITECTURAL SHEETS ONLY
CL CENTERLINE	E EAST	INL. INFO.	S. SCHED.	SOUTH SCHEDULE
Ø DIAMETER	EA. EACH	INSUL. INSULATION	S.D. S.D.	SECTION DRAIN
A.B. ANCHOR BOLT	ELEV. ELEVATION	INT. INTERIOR	SECT. SECTION	SHEET
A.C. ASPHALTIC CONCRETE	ELEC. ELECTRICAL	J. BOX JUNCTION BOX	SHT. SHEET	SIMILAR
ACOUS. ACOUSTICAL	ENGR. ENGINEER	JT. JOINT	SIM. SIMILAR	SPECIFICATION
A.D. AREA DRAIN	EQ. EQUAL	LAM. LAMINATE	SQ. SQUARE	SQUARE
ADJ. ADJUSTABLE	EQUIP. EQUIPMENT	LAV. LAVATORY	S.S. STAINLESS STEEL	STATION
A.F.F. ABOVE FINISH FLOOR	EXIST. EXISTING	LAV. LOC. LOCATION	STA. STANDARD	STANDARD
ALUM. ALUMINUM	F.A.U. FORCED AIR UNIT	LAV. LOC. LOCATION	STD. STANDARD	STEEL
ARCH. ARCHITECTURAL	F.D. FLOOR DRAIN	LT. LIGHT	STL. STORAGE	STRUCT.
ASPH. ASPHALT	F.D.N. FOUNDATION	MAT. MATERIAL	STOR. STORAGE	STRUCTURAL
BD. BOARD	F.F. FINISH FLOOR	MAX. MAXIMUM	THK. THICK	TELEPHONE
BLDG. BUILDING	F.G. FINISH GRADE	MECH. MECHANICAL	TEL. TEMP.	TEMPERED
BLKG. BLOCKING	FIN. FINISH	MEMB. MEMBRANE	THK. THICK	THROUGH
BM. BEAM	FIXT. FIXTURE	MET. METAL	THRU. THROUGH	T.O. TOP
BOT. BOTTOM	FLUOR. FLUORESCENT	MFR. MANUFACTURER	TYP. TYPICAL	U.N.O. UNLESS NOTED OTHERWISE
C.B. CATCH BASIN	F.O. FINISHED OPENING	MISC. MISCELLANEOUS	U.N.O. UNLESS NOTED OTHERWISE	VERT. VERTICAL
CEM. CEMENT	F.O.F. FACE OF FINISH	M.O. MASONRY OPENING	N. NORTH	
C.I. CAST IRON	F.O.S. FACE OF STUD	N. NORTH	(N) NEW	
C.J. CONTROL JOINT	F.O.M. FACE OF MASONRY	N.I.C. NOT IN CONTRACT	N.T.S. NOT TO SCALE	
CLG. CEILING	F.O.S. FACE OF STUD	OPER. OPERABLE	O.C. ON CENTER	
CLOS. CLOSET	FT. FOOT OR FEET	OPER. OPERABLE	OPER. OPERABLE	
CLR. CLEAR	FTG. FOOTING	OPER. OPERABLE	OPER. OPERABLE	
C.M.U. CONCRETE MASONRY UNIT	FURR. FURRING	OPER. OPERABLE	OPER. OPERABLE	
C.O. CLEAN OUT	GA. GAUGE	OPER. OPERABLE	OPER. OPERABLE	
COL. COLUMN	GALV. GALVANIZED	OPER. OPERABLE	OPER. OPERABLE	
COMPO. COMPOSITION	G.B. GALVANIZED	OPER. OPERABLE	OPER. OPERABLE	
CONC. CONCRETE	G.I. GALVANIZED IRON	OPER. OPERABLE	OPER. OPERABLE	
CONT. CONTINUOUS	GL. GLASS, GLAZING	OPER. OPERABLE	OPER. OPERABLE	
C.T. CERAMIC TILE	GND. GROUND, ELECT.	OPER. OPERABLE	OPER. OPERABLE	
CTR. CENTER	GR. GRADE	OPER. OPERABLE	OPER. OPERABLE	
C.W. COLD WATER	GYP. GYPSUM	OPER. OPERABLE	OPER. OPERABLE	
DBL. DOUBLE	H. HIGH	OPER. OPERABLE	OPER. OPERABLE	
DEMO. DEMOLISH	H.B. HOLLOW BIBB	OPER. OPERABLE	OPER. OPERABLE	
DET. DETAIL	HDWD. HARDWOOD	OPER. OPERABLE	OPER. OPERABLE	
DIA. DIAMETER	H.M. HOLLOW METAL	OPER. OPERABLE	OPER. OPERABLE	
DIM. DIMENSION	H.O.R. HORIZONTAL	OPER. OPERABLE	OPER. OPERABLE	
DN. DOWN	H.V.A.C. HEATING, VENTILATING, AIR CONDITIONING	OPER. OPERABLE	OPER. OPERABLE	
DR. DOOR	H.W. HOT WATER	OPER. OPERABLE	OPER. OPERABLE	
D.S. DOWNSPOUT		OPER. OPERABLE	OPER. OPERABLE	
DWG. DRAWING		OPER. OPERABLE	OPER. OPERABLE	

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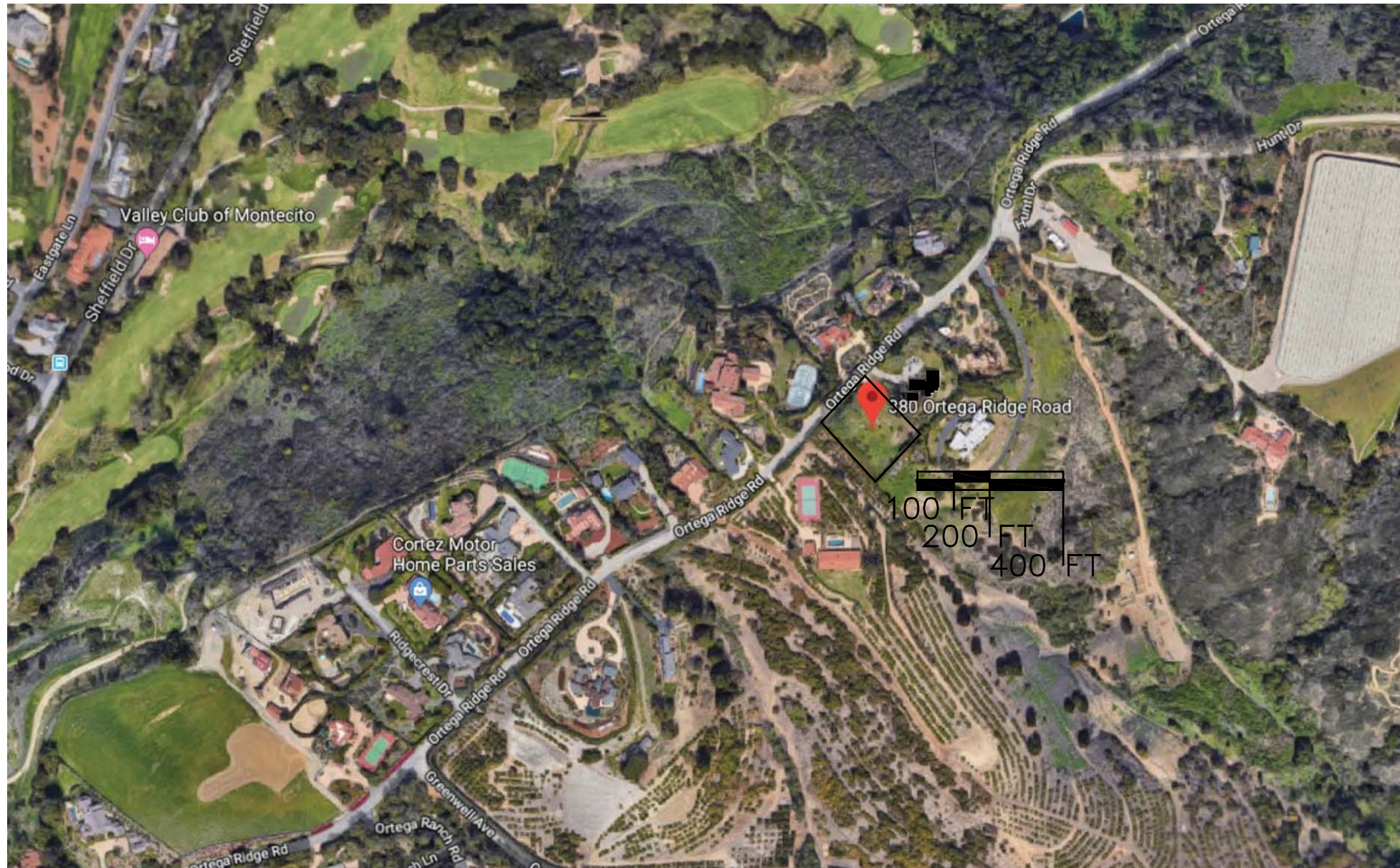
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 www.Radon-be-Gone.com



RECORDON RESIDENCE
 380 Ortega Ridge Road
 Santa Barbara, CA 93108

TITLE SHEET

Date: 4-27-2018 'R'
 Scale: AS NOTED
 Drawn: G.S.
 Plot Date: 10-03-19
 Sheet:
A-0.0
 Of 'A' Sheets



View of Proposed Front Elevation & Parking Court



View of Proposed Rear Yard & Pool

Revisions	By

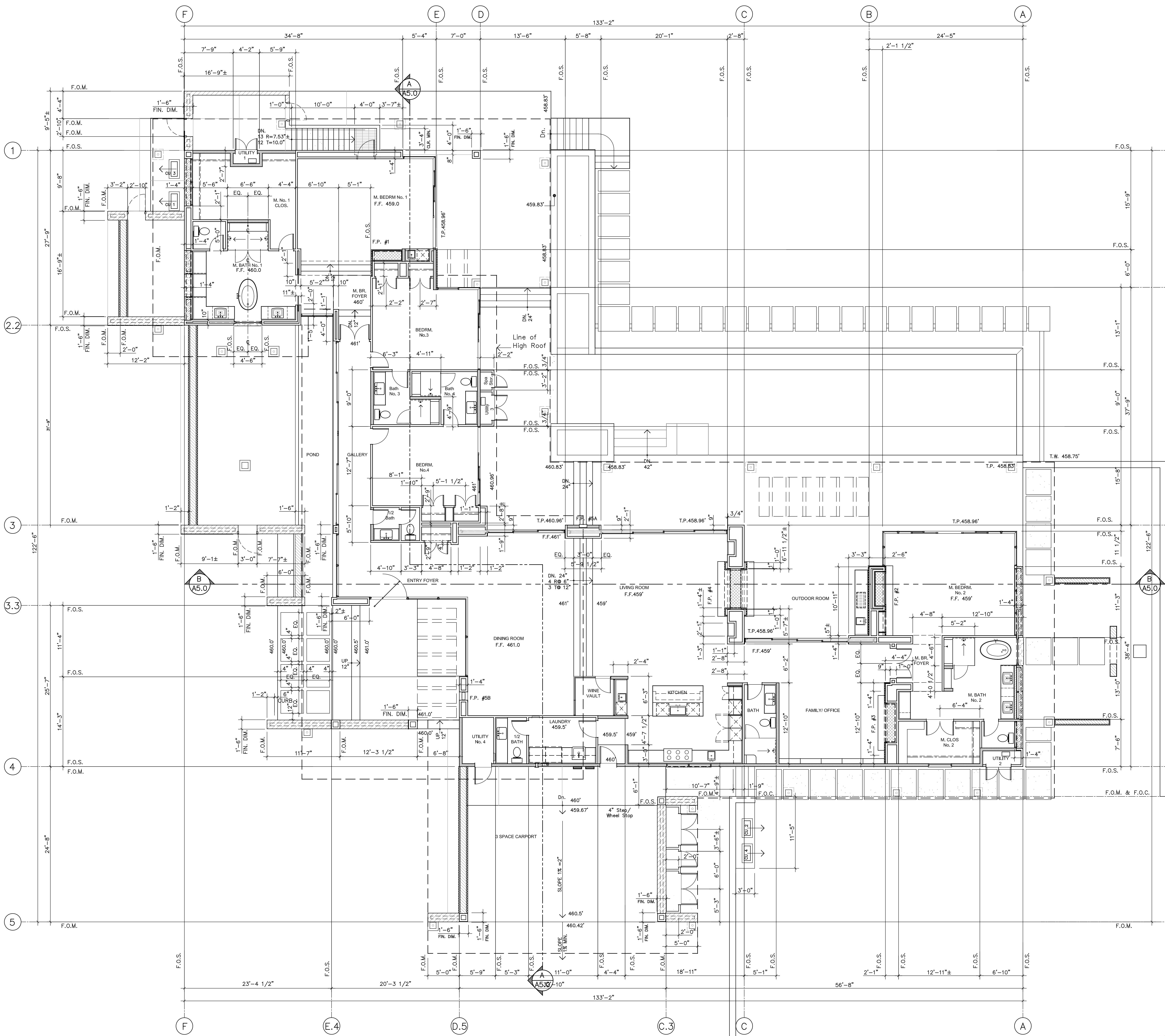
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RECORDON RESIDENCE
 380 Ortega Ridge Road
 Santa Barbara, CA 93108

Proposed
 Residence

Date: 6-06-2017
 Scale: AS NOTED
 Drawn: G.S.
 Plot Date: 10-03-19
 Sheet:
A-0.1
 Of XX Sheets



PLAN NOTES

1. ALL CONSTRUCTION SHALL CONFORM TO THE LATEST C.R.C. SPECIFICATIONS & STANDARD DETAILS.
2. VERIFY ALL EXISTING CONDITIONS AND INFORM DESIGNER OF ANY DISCREPANCY.
3. CONTACT DESIGNER FOR ANY MISSING DIMENSIONS OR INFORMATION.
4. DO NOT SCALE DRAWINGS ANY DIMENSIONAL DISCREPANCIES SHOULD BE BROUGHT TO THE ATTENTION OF THE DESIGNER BEFORE CONSTRUCTION.
5. ALL WALL DIMENSIONS SHOWN ARE MEASURED TO THE FACE OF MASONRY OR WOOD STUDS, AS OCCURS, WHERE INDICATED BY LINE TYPE, CENTERLINE OF POSTS, OPENINGS OR FIXTURES IS DELINEATED.
6. DOOR OPENINGS NOT LOCATED BY DIMENSIONS TO BE AS FOLLOWS:
CENTER = CENTER DOORS ON STUD WALL CONSTRUCTION
OFFSET DOORS = 4" CLEAR BETWEEN THE FACE OF PERPENDICULAR STUD WALL
ROUGH CARPENTER TO COORDINATE FRAMING LAYOUT WITH LIGHTING, PLUMBING AND MECHANICAL PLANS AND INFORM DESIGNER OF ANY DISCREPANCIES.
7. REFER TO INTERIOR ELEVATIONS FOR ADDITIONAL SOFFIT INFORMATION.
8. FOR EXTERIOR WALL FINISHES SEE CONSTRUCTION ELEVATIONS.
9. SEE INTERIORS FOR HEIGHTS NOT SHOWN.
10. INSULATION PROVIDE 2-10 MIN. INSULATION AT ALL EXTERIOR WALLS, EXCLUDING GARAGE. PROVIDE R-30 MIN. INSULATION IN ATTIC SPACES. REFER TO TITLE 24 FOR ADDITIONAL REQUIREMENTS. PROVIDE CONTINUOUS SOUND BATT. INSULATION AT ALL INTERIOR WALLS & BETWEEN FLOORS INSULATE AROUND PLUMBING PIPES.
11. ALL MODIFICATIONS TO THE BUILDING ENVELOPE MUST COMPLY WITH THE FOLLOWING: PENETRATION = 0.75 MAX U-FACTOR, 0.40 MAX SHGC. MIN. R-13 @ FRAME WALLS & FLOORS, R-4 @ MASS WALLS, R-30 @ CEILING. DUCT INSULATION REQUIRES A MIN. OF R-8. MINIMIZE AIR LEAKAGE PER CRC.
12. EACH EXTERIOR DOOR SHALL HAVE A SOLID SURFACE LANDING AT LEAST AS WIDE AS THE DOOR PANEL AND 36" MIN. IN THE DIRECTION OF TRAVEL. THE LANDING SHALL SLOPE AWAY AT 1/8" PER FT. (MIN.) & 1/4" PER FT. (MAX.). AT OUTSWING DOORS, LANDING SHALL NOT BE LOWER THAN 1" BELOW THRESHOLD. THE LANDING AT THE FRONT ENTRY DOOR SHALL NOT BE LOWER THAN 1.5" BELOW THE DOOR THRESHOLD.
13. PROVIDE WEATHER FLASHING @ EXTERIOR WALL PENETRATIONS INCLUDING WINDOWS, DOORS, AND VENTS.
14. EVERY SLEEPING ROOM SHALL HAVE AT LEAST ONE WINDOW OR EXTERIOR DOOR FOR EMERGENCY EGRESS. THE MIN. NET CLEAR OPENING SHALL BE 5.7 SQ. FT. MIN. OPENING WIDTH OF 20". MIN. OPENING HEIGHT OF 24", AND FINISHED SILL HEIGHT SHALL NOT BE MORE THAN 44" ABOVE THE FLOOR.
15. APPROVED SMOKE ALARMS SHALL BE INSTALLED IN EACH SLEEPING ROOM & HALLWAY OR AREA GIVING ACCESS TO A SLEEPING ROOM, AND ON EACH STORY AND BASEMENT FOR DWELLINGS WITH MORE THAN ONE STORY. SMOKE ALARMS SHALL BE INTERCONNECTED SO THAT ACTIVATION OF ONE ALARM UNIT WILL ACTIVATE ALL THE ALARMS WITHIN THE INDIVIDUAL DWELLING UNIT. IN NEW CONSTRUCTION SMOKE ALARMS SHALL RECEIVE THEIR PRIMARY POWER SOURCE FROM THE BUILDING WIRING AND SHALL BE EQUIPPED WITH BATTERY BACKUP AND LOW BATTERY SIGNAL. (SEE MECHANICAL PLANS).
16. AN APPROVED CARBON MONOXIDE ALARM SHALL BE INSTALLED IN DWELLING UNITS AND IN SLEEPING UNITS WITHIN WHICH FUEL-BURNING APPLIANCES ARE INSTALLED AND IN DWELLING UNITS THAT HAVE ATTACHED GARAGES. CARBON MONOXIDE ALARM SHALL BE PROVIDED OUTSIDE OF EACH SEPARATE DWELLING UNIT SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOM(S) AND ON EVERY LEVEL OF A DWELLING UNIT INCLUDING BASEMENTS, (R315)
17. ALL GAS APPLIANCES, WHEN INSTALLED IN TIGHT SPACES, SHALL BE PROVIDED WITH COMBUSTION AIR VENTS, SIZED 1 SQ. INCH PER 1000 BTU'S WITH A MIN. SIZE OF 100 SQ. INCHES. EACH PLACED HIGH & LOW IN DOORS, WALLS, WITH A MIN. SIZE OF 100 SQ. INCHES. SEE PLAN FOR SIZES.
18. PROVIDE ALL NECESSARY FUEL GAS SUPPLY LINES WITH SHUT-OFF VALVES TO ALL GAS FIRED OR OPERATED APPLIANCES (SEE MECHANICAL PLANS).
19. GAS COOKING APPLIANCES MUST HAVE AN INTERMITTENT IGNITED DEVICE.
20. PLUMBING FIXTURE HARDWARE SHALL COMPLY AS FOLLOWS: LOW FLOW TOILETS (1.6 GPF FLUSH), SHOWERHEAD (2.5 GPM), AND FAUCETS (2.2 GPM) PER WATER CONSERVATION CODE REQUIREMENTS.
21. BATHROOMS, WATER CLOSETS, SHOWERS AND OTHER SIMILAR ROOMS SHALL BE PROVIDED NATURAL VENTILATION OR WITH MECHANICAL VENTILATION CAPABLE OF 50 CFM EXHAUSTED DIRECTLY TO THE OUTSIDE (R303.8)
22. PROVIDE A TRAP PRIMER VALVE AT ALL FLOOR SINK LOCATIONS.
23. PROVIDE SHOWER HOT WATER CONTROL VALVE AS EITHER PRESSURE BALANCE, OR THERMOSTATIC MIXING TYPE WITH 3/4" DIAMETER LINE.
24. PROVIDE ADEQUATE BLOCKING FOR ALL WALL MOUNTED TOILETS, SINKS, CABINETS, MIRRORS, TOWEL BARS, FUTURE GRAB BARS AT TOILETS & SHOWERS, FUTURE ELECTRONICS BY OWNER AND ARTWORK AS REQUIRED.
25. PROVIDE CLOSEST LAYOUT SHOWN FOR DIAGNOSTIC PURPOSES ONLY. PROVIDE ALLOWANCE FROM CLOSET DESIGN CONSULTANT.
26. FURNITURE SHOWN IS FOR REFERENCE ONLY AND IS NOT PART OF CONSTRUCTION CONTRACT.
27. WATER RESISTANT GYP. BD SHALL BE INSTALLED OVER A VAPOR RETARDANT IN A SHOWER OR TUB COMPARTMENT, ALSO INCLUDES AREAS SUBJECT TO HIGH HUMIDITY, CEMENT, FIBER-CEMENT OR GLASS MAT GYPSUM BACKERS INSTALLED IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS SHALL BE USED AS BACKERS FOR WALL TILE IN TUB & SHOWER AREAS & WALL PANELS IN SHOWER AREAS.
28. CONTRACTOR IS RESPONSIBLE FOR PREPARING SUB-SURFACES TO ACCEPT FINISH MATERIALS.
29. PROVIDE "X" GYPSUM WALL BOARD AT ALL INTERIOR WALLS. TYPE "X" GYPSUM WALL BOARD AT GARAGE AND CARPORT WALLS AND CEILING.
30. PROVIDE A MINIMUM OF 1/2" GYPSUM BOARD AT ENCLOSED SIDE OF USEABLE SPACE UNDER STAIRS PER CRC SECTION R302.7
31. WINDOW HEAD HEIGHTS PER WINDOW SCHEDULE.
32. ALL EXTERIOR AND PLUMBING WALL STUDS SHALL BE 2x6 FRAMING EXTERIOR GARAGE WALL AND INTERIOR WALL STUDS SHALL BE 2x4 FRAMING UNLESS OTHERWISE NOTED ON PLANS. EXTERIOR BASEMENT WALLS SHALL BE CONCRETE AS SPECIFIED BY STRUCTURAL DRAWINGS W/ WEATHER PROOFING AT EXTERIOR AND INSULATED 2x4 WOOD STUD FURRING AT INTERIOR. SPACING AND INSTALLATION PER STRUCTURAL ENGINEER.
33. CONTRACTOR SHALL ALLOW FOR AND PROVIDE ALL REQUIRED SHIMMING SO THAT ALL FINISH MATERIALS FINISH AT THE SAME ELEVATION U.N.O.
34. SEE GENERAL NOTES, SPECIFICATIONS MANUAL, AND STRUCTURAL PLANS FOR ADDITIONAL FRAMING INFORMATION.
35. ATTIC FURNISHES & COOLING EQUIPMENT SHALL COMPLY WITH THE FOLLOWING:
37.1. HAVE 22"x30" MIN. ATTIC ACCESS WITHIN 20 FT. OF THE EQUIPMENT.
37.2. OPENING SHALL BE LARGE ENOUGH TO REMOVE THE LARGEST PIECE OF EQUIPMENT
37.3. HAVE CONTINUOUS 2x4 WOOD SOLID FLOOR ACCESS PATH THROUGH
37.4. HAVE 30" DEEP LEVEL WORKING PLATFORM W/ NON-COMBUSTIBLE FINISH AT CONTROL SIDE
37.5. HAVE A 110v ELECTRICAL OUTLET & LIGHT FIXTURE (CONTROLLED BY SWITCH AT THE ACCESS POINT) FOR THE FURNACE
37.6. EQUIPMENT SHALL BE INSTALLED PER LOCAL MECHANICAL CODE
37.7. CONDENSATE DRAIN SHALL TERMINATE AT AN APPROVED PLUMBING FIXTURE
36. MOISTURE EXHAUST DUCTS SHALL TERMINATE ON THE OUTSIDE OF THE BUILDING AND BE EQUIPPED WITH A BACKDRAFTS BARBER PENETRATIONS THROUGH A FIRE WALL SHALL BE FIRE STOPPED APPROPRIATE TO THE FIRE RATING OF THE WALL BEING PENETRATED). VENTS SHALL BE A MIN. 4 INCHES IN DIAMETER & CONSTRUCTED OF METAL W/ SMOOTH INTERIOR SURFACES. UNLESS OTHERWISE PERMITTED, MOISTURE EXHAUST DUCTS SHALL NOT EXCEED A TOTAL COMBINED LENGTH OF 14 FEET INCLUDING TWO 90 DEG. ELBOWS. LONGER RUNS OR RUNS WITH MORE THAN 2 ELBOWS MUST USE AN APPROVED BOOSTER FAN LOCATED AT A POINT NO CLOSER THAN 14'-0" FROM THE DRYER. THE TERMINATION POINT SHALL NOT BE LESS THAN 3'-0" FROM A PROPERTY LINE OR OPENING INTO THE BUILDING.

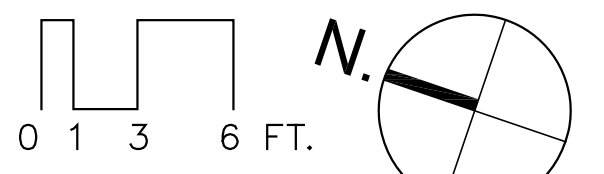
WALL + PARTITION TYPES

- W-A** SHEATHING PER STRUCT. W/ CEM. PLAS. SYSTEM FINISH. DOUBLE EXTERIOR WALL- INSULATE PER MO.0 & MO.1. 5/8" THK. GYP. BD. INTERIOR. ALUM. WINDOW & DOOR GLAZING SYSTEM. NOTE: AT UTILITY RMS. 1, & SPA STOR. CONTINUE 7/8" PLAS. SYSTEM OVER WALL. SHT 2x4-16" O.C. STUDS TO COVER INTERIOR WALLS.
- W-B** SHEATHING PER STRUCT. W/ CONC. 'LEDGSTONE' FINISH. 2x6 @ 16" O.C. WD. STUD EXTERIOR WALL- INSULATE PER MO.0 & MO.1. 5/8" THK. GYP. BD. INTERIOR. 1 1/2" ALLOWANCE FOR 'LEDGSTONE' FINISH. ALUM. WINDOW & DOOR GLAZING SYSTEM W/ WD. FURRING @ 'LEDGSTONE'.
- W-C** SHEATHING PER STRUCT. W/ CEM. PLAS. SYSTEM FINISH. 2x4 @ 16" O.C. WD. STUD DOUBLE EXTERIOR WALL- INSULATE PER MO.0 & MO.1. 5/8" THK. GYP. BD. INTERIOR. HIGH ALUM. WINDOW SYSTEM W/ SLOPED CEM. PLAS. SILL. 2x4 @ 16" O.C. WD. STUD PARTITION W/ CEM. PLAS. EXTERIOR & 5/8" GYP. BD. INTERIOR- INSULATION PER MO.0 & MO.1 EXTERIOR & FULL BATT ACOUSTIC INSULATION ON INTERIOR.
- W-D** 5/8" THK. GYP. BD. FINISH. 2x6 @ 16" O.C. WD. STUD INTERIOR PARTITION. FULL BATT ACOUSTIC INSULATION.
- W-E** 5/8" THK. GYP. BD. FINISH. 2x4 @ 16" O.C. WD. STUD DOUBLE INTERIOR PARTITION. FULL BATT ACOUSTIC INSULATION.
- W-F** 8" REINF. C.M.U. SITE WALL W/ CEM. PLAS. FIN.
- W-G** DOUBLE 6" REINF. C.M.U. SITE WALL W/ CEM. PLAS. FIN.
- W-H** 12" REINF. C.M.U. SITE WALL W/ 'LEDGSTONE' VENEER ALLOW 2"± FOR 'LEDGSTONE' VENEER EA. SIDE.

NOTE: SEE A-2.0 FOR WALL DIMENSIONS.

DIMENSION FLOOR PLAN

SCALE: 3/16" = 1'-0"



REVISIONS THE USE OF THESE PLANS AND SPECIFICATIONS SHALL BE LIMITED TO THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREON AND SHALL NOT BE REPRODUCED OR USED FOR ANY OTHER PROJECT WITHOUT THE WRITTEN PERMISSION OF THE ARCHITECT. ANY REVISIONS TO THESE PLANS SHALL BE MADE BY THE ARCHITECT AND SHALL BE IDENTIFIED BY A REVISION SYMBOL AND A REVISION DATE. THE ARCHITECT SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITIES. THE ARCHITECT SHALL NOT BE RESPONSIBLE FOR ANY DELAYS OR COSTS INCURRED BY THE CONTRACTOR DUE TO UNREASONABLE SCHEDULING OR CONSTRUCTION METHODS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITIES. THE ARCHITECT SHALL NOT BE RESPONSIBLE FOR ANY DELAYS OR COSTS INCURRED BY THE CONTRACTOR DUE TO UNREASONABLE SCHEDULING OR CONSTRUCTION METHODS.	<table style="width: 100%; border-collapse: collapse;"> <tr> <th style="font-size: 8px;">Revisions</th> <th style="font-size: 8px;">By</th> </tr> <tr> <td style="height: 40px;"></td> <td></td> </tr> </table>	Revisions	By		
Revisions	By				
<div style="display: flex; align-items: center; justify-content: center;"> <div style="text-align: center; margin-right: 10px;"> <p style="margin: 0; font-size: 8px;">K+A DESIGN GROUP</p> </div> <div style="text-align: center;"> <p style="margin: 0; font-weight: bold;">RECORDON RESIDENCE</p> <p style="margin: 0;">380 Ortega Ridge Road</p> <p style="margin: 0;">Santa Barbara, CA 93108</p> </div> </div>					
<p style="font-weight: bold; font-size: 12px;">DIMENSION FLOOR PLAN</p>					
<p style="font-size: 8px;">Date: 4-27-2018 'R'</p> <p style="font-size: 8px;">Scale: AS NOTED</p> <p style="font-size: 8px;">Drawn: G.S.</p> <p style="font-size: 8px;">Plot Date: 10-03-19</p> <p style="font-size: 8px;">Sheet: A-2.0 Of Sheets</p>					

